



The State of New Hampshire
DEPARTMENT OF ENVIRONMENTAL SERVICES



Thomas S. Burack, Commissioner

November 05, 2015

Her Excellency, Governor Margaret Wood Hassan
and The Honorable Council
State House
Concord, NH 03301

REQUESTED ACTION

Approve David and Susan Tsao's request to perform the following work on Penniman Basin and Pine River Pond, in Wakefield. File # 2015-01422. This project will not have significant impact on or adversely affect the values of Penniman Basin and Pine River Pond.

Replace an existing 4 ft. x 24 ft. seasonal pier with a 6 ft. x 30 ft. seasonal pier and continue to maintain a separate seasonal docking structure consisting of two 6 ft. x 26 ft. piers connected by a 6 ft. x 12 ft. walkway in a "U" shaped configuration with 22 ft. x 12 ft. seasonal canopy over the center slip on an average of 623 feet of shoreline frontage along Penniman Basin and Pine River Pond, in Wakefield.

The Department imposed the following conditions as part of this approval:

1. All work shall be in accordance with plans as received by the NH Department of Environmental Services (DES) on July 31, 2015.
2. This permit shall not be effective until it has been recorded with the Carroll County Registry of Deeds office by the Permittee. A copy of the recorded permit shall be submitted to the DES Wetlands Bureau by certified mail, return receipt requested, prior to installation.
3. These shall be the only structures on this property's water frontage and all portions of the docking structures shall be at least 20 ft. from abutting property lines or the imaginary extension of those lines into the water.
4. The seasonal piers shall be removed from the lake for the non-boating season.
5. No portion of the new pier shall extend more than 30 ft. from the shoreline at full lake elevation.
6. All activities shall be in accordance with the Shoreland Water Quality Protection Act, RSA 483-B. The owner is responsible for obtaining any Shoreland Permit that may be required per RSA 483-B, for construction, excavation or fill that will occur within the Protected Shoreland.

DES Web site: www.des.nh.gov

P.O. Box 95, 29 Hazen Drive, Concord, New Hampshire 03302-0095

Telephone: (603) 271-3503 • Fax: (603) 271-6588 • TDD Access: Relay NH 1-800-735-2964

EXPLANATION

The DES Wetlands Bureau approved this project on September 01, 2015. DES supported its decision with the following findings:

1. This project is classified as a major project per Rule Env-Wt 303.02(d), modification of docking facilities providing 5 or more slips.
2. The lot has two different areas with water frontage on Pine River Pond and Penniman Basin.
3. The applicant has a combined average of 623 ft. of frontage between the two separate frontages on this single lot on Pine River Pond.
4. The existing and proposed docking structures provide access to the waterbody on two different locations on this property.
5. A maximum of 9 slips may be permitted on this property's frontage per Rule Env-Wt 402.13, Frontage Over 75'.
6. The proposed docking facility will provide 5 slips as defined per RSA 482-A:2, VIII and therefore is within the limits of Rule Env-Wt 402.13.

Application file documents are being forwarded to the Governor and Executive Council in connection with their consideration of this matter pursuant to RSA 482-A:3,II.(a) as it is a major project in public waters of the state.

We respectfully submit this request for your consideration.


Thomas S. Burack
Commissioner



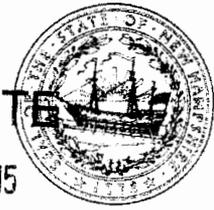
WETLANDS PERMIT APPLICATION

Water Division/ Wetlands Bureau
Land Resources Management

COMPLETE

Check the status of your application: <http://des.nh.gov/onestop>

JUN 18 2015



RSA/Rule: Env-Wq 100-900

	<p>INCOMPLETE</p> <p>JUN 10 2015</p>		<p>2015-01422</p> <p>116</p> <p>\$200.00</p> <p>EMK</p>
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1. REVIEW TIME:
Indicate your Review Time below. Refer to Guidance Document A for instructions.

Standard Review (Minimum, Minor or Major Impact)
 Expedited Review (Minimum Impact only)

2. PROJECT LOCATION:
Separate applications must be filed with each municipality that jurisdictional impacts will occur in.

ADDRESS: 417 Pinewood Shores			TOWN/CITY: Wakefield
TAX MAP: 000082	BLOCK: N/A	LOT: 017000	UNIT: N/A
USGS TOPO MAP WATERBODY NAME: Pine River Pond		<input type="checkbox"/> NA	STREAM WATERSHED SIZE: <input checked="" type="checkbox"/> NA
LOCATION COORDINATES (If known): N43°37.322 W071°01.003			<input checked="" type="checkbox"/> Latitude/Longitude <input type="checkbox"/>
UTM <input type="checkbox"/> State Plane			

3. PROJECT DESCRIPTION:
Provide a brief description of the project outlining the scope of work. Attach additional sheets as needed to provide a detailed explanation of your project. DO NOT reply "See Attached" in the space provided below.

Replacement of old 24' x 4' wooden dock with a new aluminum & composite 30' x 6' dock to better provide safer and more enjoyable boating, swimming and recreational purposes as described on deed for adjusted parcel 1 (tax map 000082, lot 16 Wakefield, NH) Dock to be located from lot 17 adjacent.

4. SHORELINE FRONTAGE

NA This lot has no shoreline frontage.
 SHORELINE FRONTAGE: **697'**

Shoreline frontage is calculated by determining the average of the distances of the actual natural navigable shoreline frontage and a straight line drawn between the property lines, both of which are measured at the normal high water line.

5. RELATED PERMITS, ENFORCEMENT, EMERGENCY AUTHORIZATION, SHORELAND, ALTERATION OF TERRAIN, ETC...

SEASONAL DOCK NOTIFICATION 2015-01045 DISQUALIFIED 5/19/2015
** NHB DATA CHECK - APPROVED NHB15-1828 6/2/15*

6. NATURAL HERITAGE BUREAU & DESIGNATED RIVERS:
See the Instructions & Required Attachments document for instructions to complete a & b below.

a. Natural Heritage Bureau File ID: NHB 15 - 1828.

b. Designated River the project is in ¼ miles of: _____; and
date a copy of the application was sent to Local River Advisory Committee: Month: ___ Day: ___ Year: ___

NA

7. APPLICANT INFORMATION (Desired permit holder)

LAST NAME, FIRST NAME, M.I.: **Pearson, Kurt, R**

TRUST / COMPANY NAME: **N/A**

MAILING ADDRESS: **PO Box 373**

TOWN/CITY: **Sanbornville**

STATE: **NH**

ZIP CODE: **03872**

EMAIL or FAX: **kurt.pearson@roadrunner.com**

PHONE: **603-522-2021**

ELECTRONIC COMMUNICATION: By initialing here: **KRP** I hereby authorize DES to communicate all matters relative to this application electronically

8. PROPERTY OWNER INFORMATION (If different than applicant)

LAST NAME, FIRST NAME, M.I.: **Tsao, David & Susan**

TRUST / COMPANY NAME: **N/A**

MAILING ADDRESS: **[REDACTED]**

TOWN/CITY: **Newburyport**

STATE: **MA**

ZIP CODE: **01950**

EMAIL or FAX:

PHONE: **[REDACTED]**

ELECTRONIC COMMUNICATION: By initialing here _____, I hereby authorize DES to communicate all matters relative to this application electronically

9. AUTHORIZED AGENT INFORMATION

LAST NAME, FIRST NAME, M.I.: **N/A**

COMPANY NAME:

MAILING ADDRESS:

TOWN/CITY:

STATE:

ZIP CODE:

EMAIL or FAX:

PHONE:

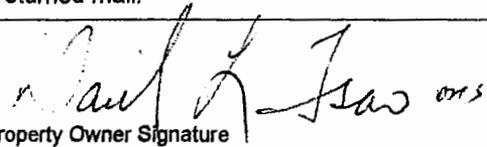
ELECTRONIC COMMUNICATION: By initialing here _____, I hereby authorize DES to communicate all matters relative to this application electronically

10. PROPERTY OWNER SIGNATURE:

See the Instructions & Required Attachments document for clarification of the below statements

By signing the application, I am certifying that:

1. I authorize the applicant and/or agent indicated on this form to act in my behalf in the processing of this application, and to furnish upon request, supplemental information in support of this permit application.
2. I have reviewed and submitted information & attachments outlined in the Instructions and Required Attachment document.
3. All abutters have been identified in accordance with RSA 482-A:3, I and Env-Wt 100-900.
4. I have read and provided the required information outlined in Env-Wt 302.04 for the applicable project type.
5. I have read and understand Env-Wt 302.03 and have chosen the least impacting alternative.
6. Any structure that I am proposing to repair/replace was either previously permitted by the Wetlands Bureau or would be considered grandfathered per Env-Wt 101.47.
7. I have submitted a Request for Project Review (RPR) Form (www.nh.gov/nhdhr/review) to the NH State Historic Preservation Officer (SHPO) at the NH Division of Historical Resources to be reviewed for the presence of historical/ archeological resources.
8. I authorize DES and the municipal conservation commission to inspect the site of the proposed project.
9. I have reviewed the information being submitted and that to the best of my knowledge the information is true and accurate.
10. I understand that the willful submission of falsified or misrepresented information to the New Hampshire Department of Environmental Services is a criminal act, which may result in legal action.
11. I am aware that the work I am proposing may require additional state, local or federal permits which I am responsible for obtaining.
12. The mailing addresses I have provided are up to date and appropriate for receipt of DES correspondence. DES will not forward returned mail.


Property Owner Signature

David Tsao

Print name legibly

5/23/2015

Date

shoreland@des.nh.gov or (603) 271-2147

NHDES Wetlands Bureau, 29 Hazen Drive, PO Box 95, Concord, NH 03302-0095

www.des.nh.gov

MUNICIPAL SIGNATURES

11. CONSERVATION COMMISSION SIGNATURE

The signature below certifies that the municipal conservation commission has reviewed this application, and:

1. Waives its right to intervene per RSA 482-A:11;
2. Believes that the application and submitted plans accurately represent the proposed project; and
3. Has no objection to permitting the proposed work.

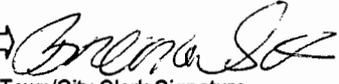
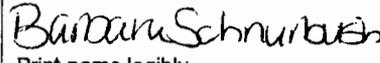
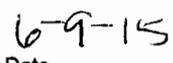
	 Print name legibly	 Date
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DIRECTIONS FOR CONSERVATION COMMISSION

1. Expedited review ONLY requires that the conservation commission's signature is obtained in the space above.
2. Expedited review requires the Conservation Commission signature be obtained **prior** to the submittal of the original application to the Town/City Clerk for signature.
3. The Conservation Commission may refuse to sign. If the Conservation Commission does not sign this statement for any reason, the application is not eligible for expedited review and the application will reviewed in the standard review time frame.

12. TOWN / CITY CLERK SIGNATURE

As required by Chapter 482-A:3 (amended 2014), I hereby certify that the applicant has filed four application forms, four detailed plans, and four USGS location maps with the town/city indicated below.

 Town/City Clerk Signature	 Print name legibly	 Town/City	 Date
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DIRECTIONS FOR TOWN/CITY CLERK:

Per RSA 482-A:3, I

1. For applications where "Expedited Review" is checked on page 1, if the Conservation Commission signature is not present, NHDES will accept the permit application, but it will NOT receive the expedited review time.
2. IMMEDIATELY sign the original application form and four copies in the signature space provided above;
3. Return the signed original application form and attachments to the applicant so that the applicant may submit the application form and attachments to NHDES by mail or hand delivery.
4. IMMEDIATELY distribute a copy of the application with one complete set of attachments to each of the following bodies: the municipal Conservation Commission, the local governing body (Board of Selectmen or Town/City Council), and the Planning Board; and
5. Retain one copy of the application form and one complete set of attachments and make them reasonably accessible for public review.

DIRECTIONS FOR APPLICANT:

1. Submit the original permit application form bearing the signature of the Town/ City Clerk, additional materials, and the application fee to NHDES by mail or hand delivery.

13. IMPACT AREA:

For each jurisdictional area that will be/has been impacted, provide square feet and, if applicable, linear feet of impact

Permanent: impacts that will remain after the project is complete.

Temporary: impacts not intended to remain (and will be restored to pre-construction conditions) after the project is complete.

JURISDICTIONAL AREA	PERMANENT Sq. Ft. / Lin. Ft.	TEMPORARY Sq. Ft. / Lin. Ft.
Forested wetland	<input type="checkbox"/> ATF	<input type="checkbox"/> ATF
Scrub-shrub wetland	<input type="checkbox"/> ATF	<input type="checkbox"/> ATF
Emergent wetland	<input type="checkbox"/> ATF	<input type="checkbox"/> ATF
Wet meadow	<input type="checkbox"/> ATF	<input type="checkbox"/> ATF
Intermittent stream	<input type="checkbox"/> ATF	<input type="checkbox"/> ATF
Perennial Stream / River	/ <input type="checkbox"/> ATF	/ <input type="checkbox"/> ATF
Lake / Pond	/ <input type="checkbox"/> ATF	84 / 2 <input type="checkbox"/> ATF
Bank - Intermittent stream	/ <input type="checkbox"/> ATF	/ <input type="checkbox"/> ATF
Bank - Perennial stream / River	/ <input type="checkbox"/> ATF	/ <input type="checkbox"/> ATF
Bank - Lake / Pond	/ <input type="checkbox"/> ATF	/ <input type="checkbox"/> ATF
Tidal water	/ <input type="checkbox"/> ATF	/ <input type="checkbox"/> ATF
Salt marsh	<input type="checkbox"/> ATF	<input type="checkbox"/> ATF
Sand dune	<input type="checkbox"/> ATF	<input type="checkbox"/> ATF
Prime wetland	<input type="checkbox"/> ATF	<input type="checkbox"/> ATF
Prime wetland buffer	<input type="checkbox"/> ATF	<input type="checkbox"/> ATF
Undeveloped Tidal Buffer Zone (TBZ)	<input type="checkbox"/> ATF	<input type="checkbox"/> ATF
Previously-developed upland in TBZ	<input type="checkbox"/> ATF	<input type="checkbox"/> ATF
Docking - Lake / Pond	<input type="checkbox"/> ATF	<input type="checkbox"/> ATF
Docking - River	<input type="checkbox"/> ATF	<input type="checkbox"/> ATF
Docking - Tidal Water	<input type="checkbox"/> ATF	<input type="checkbox"/> ATF
TOTAL	0 / 0	0 / 0

14. APPLICATION FEE: See the Instructions & Required Attachments document for further instruction

Minimum Impact Fee: Flat fee of \$ 200

Minor or Major Impact Fee: Calculate using the below table below

Permanent and Temporary (non-docking) _____ sq. ft. X \$0.20 = \$ _____

Temporary (seasonal) docking structure: _____ sq. ft. X \$1.00 = \$ _____

Permanent docking structure: _____ sq. ft. X \$2.00 = \$ _____

Projects proposing shoreline structures (including docks) add \$200 = \$ _____

Total = \$ _____

The Application Fee is the above calculated Total or \$200, whichever is greater = \$ _____

shoreland@des.nh.gov or (603) 271-2147

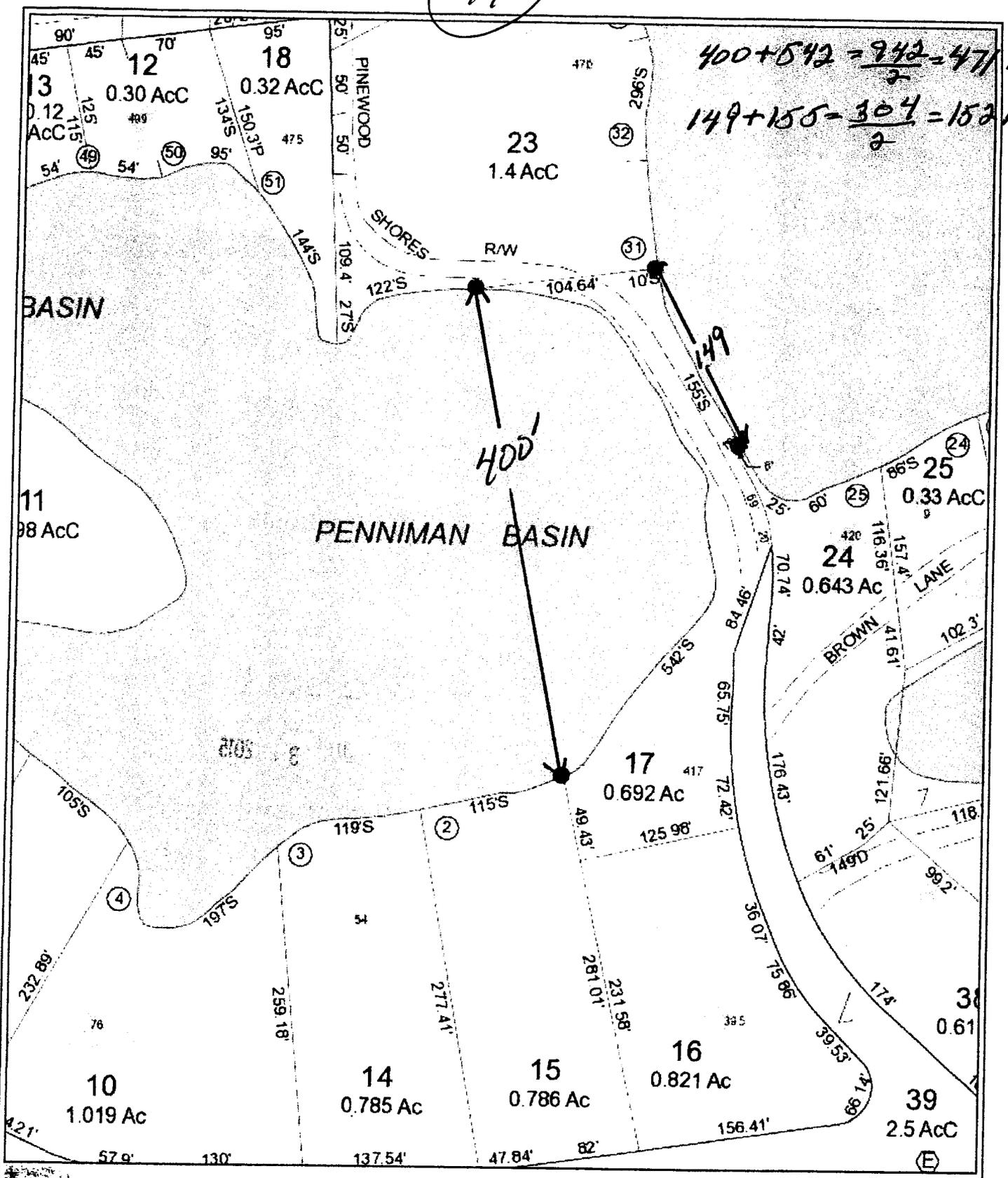
NHDES Wetlands Bureau, 29 Hazen Drive, PO Box 95, Concord, NH 03302-0095

www.des.nh.gov

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$$400 + 542 = \frac{942}{2} = 471 \text{ AVE}$$

$$149 + 155 = \frac{304}{2} = 152 \text{ AVE}$$

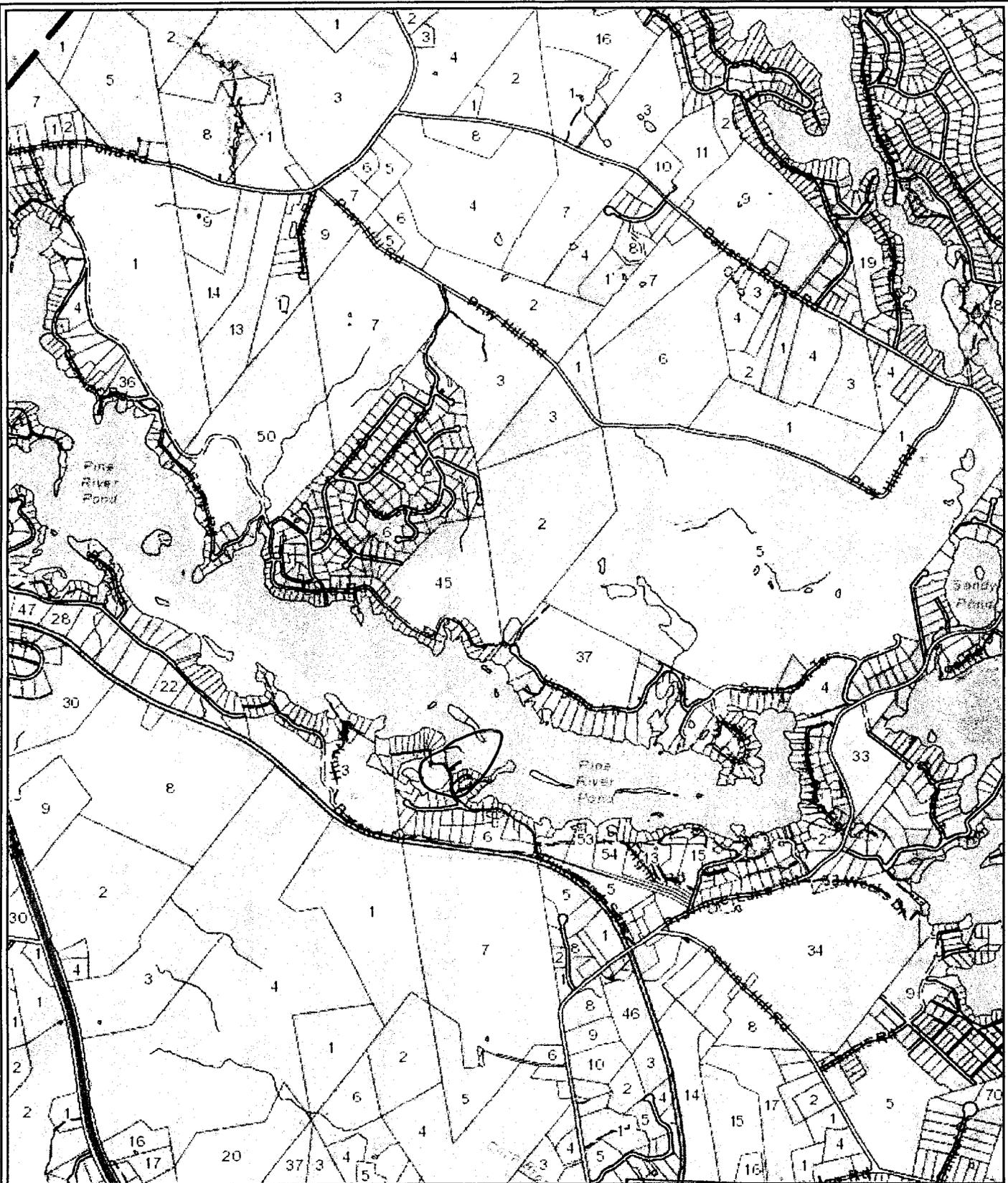


Wakefield, NH
 1 Inch = 104 Feet
 July 30, 2015



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.

www.cai-tech.com
 CAI Technologies



Wakefield, NH
 1 Inch = 2124 Feet
 June 15, 2015

RECEIVED
 JUN 18 2015
 CAI Technologies
 LAND RESOURCES MANAGEMENT



www.cai-tech.com



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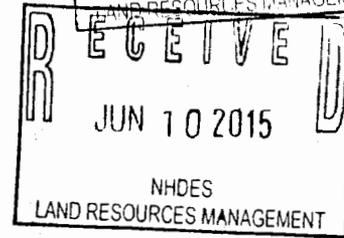
NEW HAMPSHIRE NATURAL HERITAGE BUREAU
NHB DATACHECK RESULTS LETTER

To: Kurt Pearson
PO Box 373
Sanbornville, NH 03872

From: NH Natural Heritage Bureau

Date: 6/2/2015 (valid for one year from this date)

Re: Review by NH Natural Heritage Bureau of request submitted 5/28/2015



VALID ONLY FOR NOTIFICATION OR MINIMUM EXPEDITED
APPLICATIONS SUBMITTED TO THE NHDES WETLANDS BUREAU

NHB File ID: NHB15-1828

Applicant: Kurt Pearson

Location: Wakefield
Tax Maps: Map 00082 Lot 017000

Project Description: Replace old wooden dock (4'x24') with a new aluminum & composite dock (6'x30').

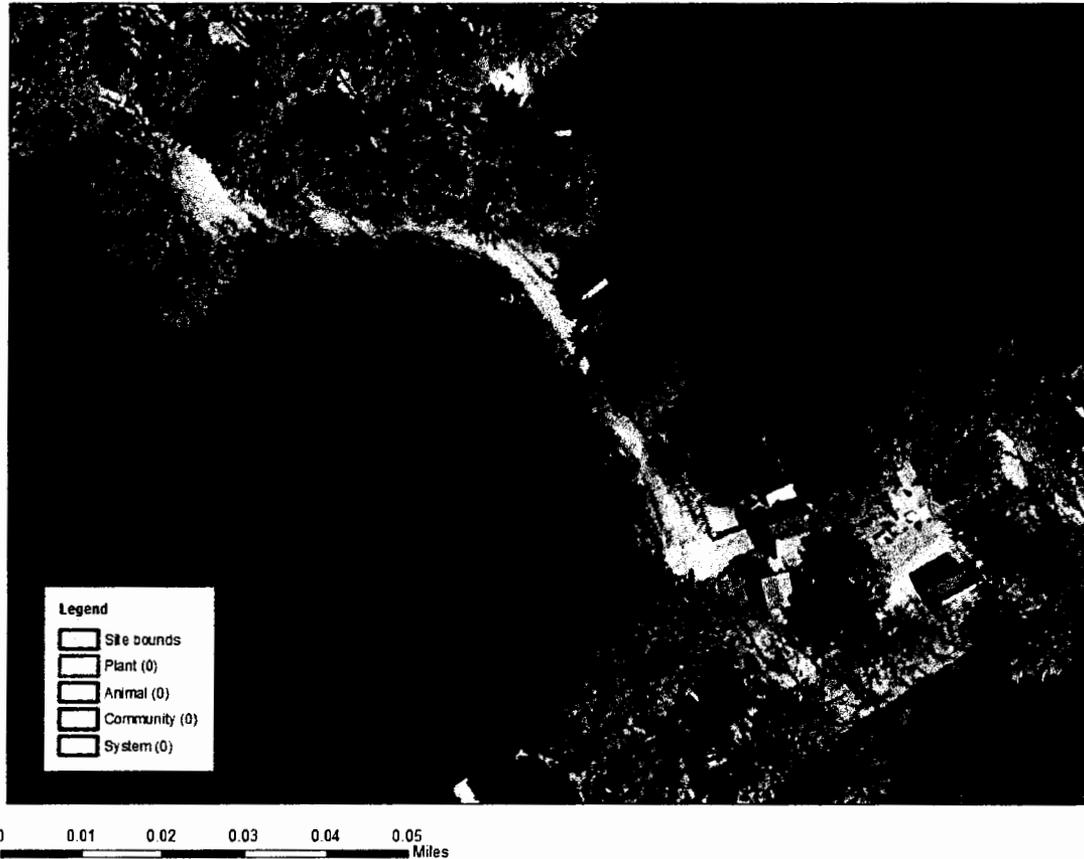
The NH Natural Heritage database has been checked by staff of the NH Natural Heritage Bureau and/or the NH Nongame and Endangered Species Program for records of rare species and exemplary natural communities near the area mapped below. The species considered include those listed as Threatened or Endangered by either the state of New Hampshire or the federal government.

It was determined that, although there was a NHB record (e.g., rare wildlife, plant, and/or natural community) present in the vicinity, we do not expect that it will be impacted by the proposed project. This determination was made based on the project information submitted via the NHB Datacheck Tool on 5/28/2015, and cannot be used for any other project.



MAP OF PROJECT BOUNDARIES FOR: **NHB15-1828**

NHB15-1828



Abutters to Lot 17 Map 82 Wakefield, NH:

Lot 23 Anthony Ruddy Lisa Baumgartner

[REDACTED]

Jackson, NH 03846

Lot 24 Kathryn Ostertag

[REDACTED]

Kingston, NH 03848

Lot 15 Scott Blaney

[REDACTED]

East Wakefield, NH 03830

Lot 16 Applicant : Pearson

Lot 17 Owner : Tsao

(2)

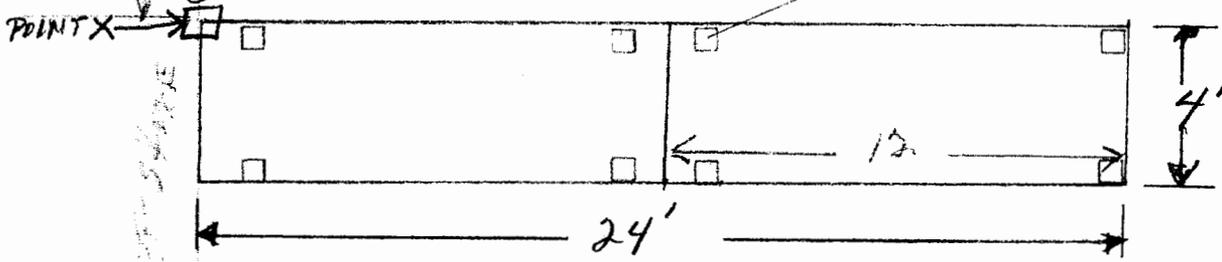
SCALE
1" = 5'

PROPOSED DOCK PROJECT PLAN 2015-01422

60' TO LOT LINE
LOT 23 MAP 82

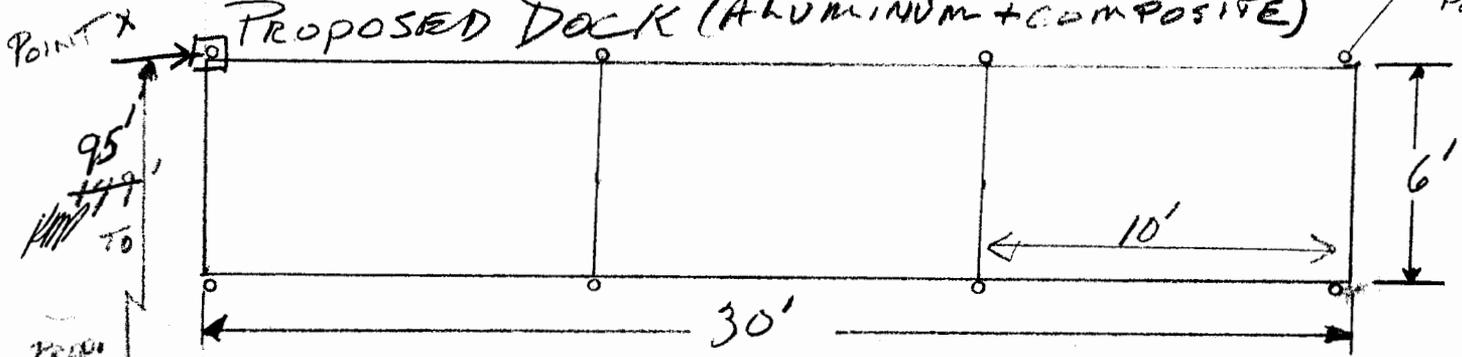
ORIGINAL DOCK (WOOD)

4x4 KD POST
(8 p/c's)



PROPOSED DOCK (ALUMINUM + COMPOSITE)

2" DIA
ALUMINUM
POST (8 p/c's)



NO EXCAVATION TO SHORE REQUIRED.
SUITABLE STEPS EXIST CURRENTLY.

LOCATION: N43°37.322' W071°01.003"

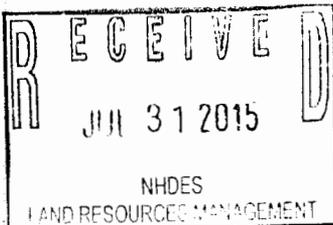
AS SHOWN ON: "MAP OF PROJECT BOUNDARIES

FOR NH 15-1828 AND 2015-01422"

AND "MAP 82 LOT 17" ON

CAT TECHNOLOGIES MAPS AND

AERIAL VIEW.

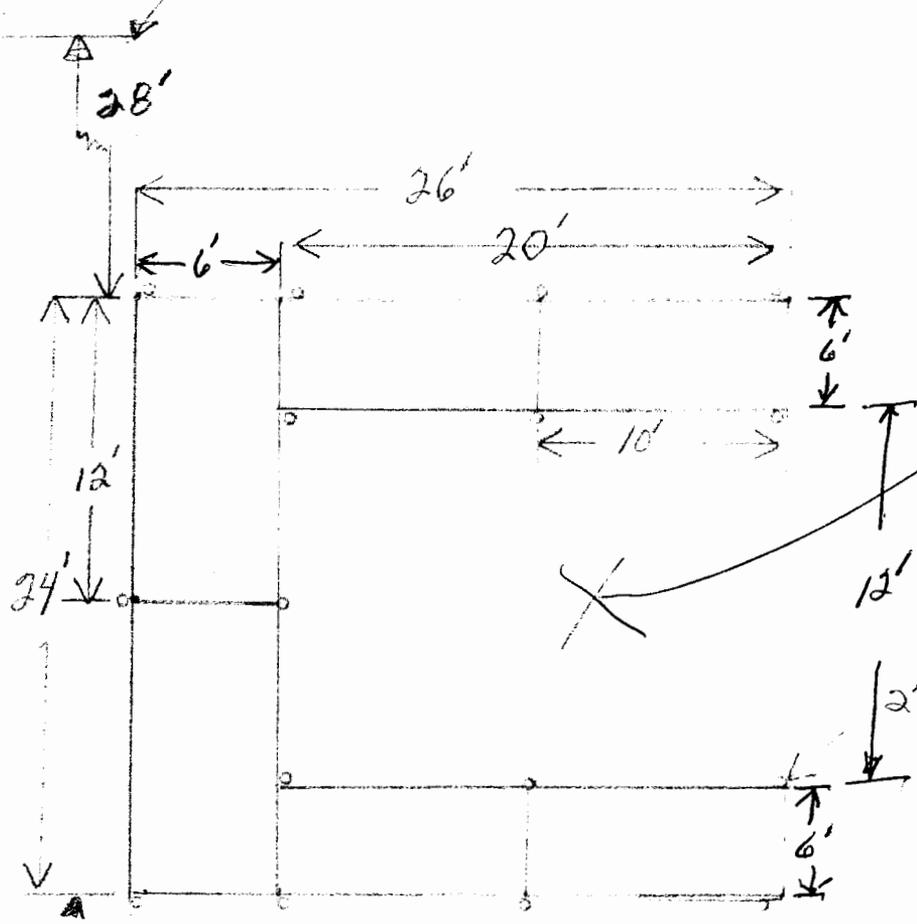


CONTRACTORS WILL BE EITHER:

- ① RAISE-A-DOCK RTE 16 WAKEFIELD
- ② GREAT EAST HOME + SHORE LLC. COSMAR DR. SANBORNVILLE

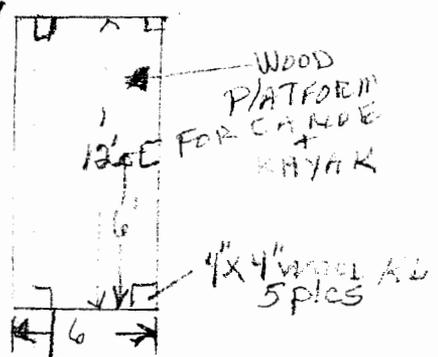
3

PROPERTY LINE LOT 15/17 MAP 82



CANVAS ROOF 22' X 12'

DAVID/SUSAN TSOAO
 PROPERTY #17/23
 SPAN LINE
 PENNINGMAN BASIN



450' APPROX TO PROPERTY LINE LOT 17/23 MAP 82